

SITE PLAN FOR  
LOT 29 WESTWOOD DEV.  
BLACKBIRD ADDITION  
1710 Fairlawn Avenue  
North Fond du Lac, WI

NOTES

- TRACKING PAD REQUIRED IN LOCATION OF PROP. DRIVEWAY. PAD TO BE MIN. 14' WIDE AND CONSIST OF 3" FRACTURED CLEAR STONE 6" DEEP FROM THE ROAD TO THE GARAGE
- CONTRACTOR TO BE RESPONSIBLE FOR KEEPING STREET FREE OF SOIL & DEBRIS

BENCHMARKS

- VERIFY BENCHMARKS:
1. BURY BOLT ON HYDRANT ON SOUTH OF PRAIRE FOX STREET BETWEEN #333 & #341 PRAIRE FOX ST. ELEV. = 776.9 (VILLAGE DATUM)
  2. BURY BOLT ON HYDRANT @ THE SE CORNER OF FAIRLAWN ST. & PRAIRE FOX ST. ELEV. = 779.14 (VILLAGE DATUM)

CERTIFICATION STATEMENT

I hereby certify that the elevations shown on this drawing are a true and correct representation of the existing conditions as obtained by field survey on August 13, 2024.



Eric S. Freiberg  
P.L.S. No. 2488

SCALE 1"= 20'



LEGEND

- 1-1/4"Ø IRON REBAR FOUND IN PLACE
- 3/4"Ø IRON PIPE FOUND IN PLACE
- EXIST. WATER VALVE
- EXISTING ELEVATION
- PROPOSED ELEVATION
- PROPOSED DRAINAGE DIRECTION
- SILTFENCE REQUIRED

ET SURVEYING, INC.

632 Ledgeview Blvd.  
Fond du Lac, WI 54836  
Phone: (920) 948-4086

PROJECT: Westwood Dev. Blackbird Add.

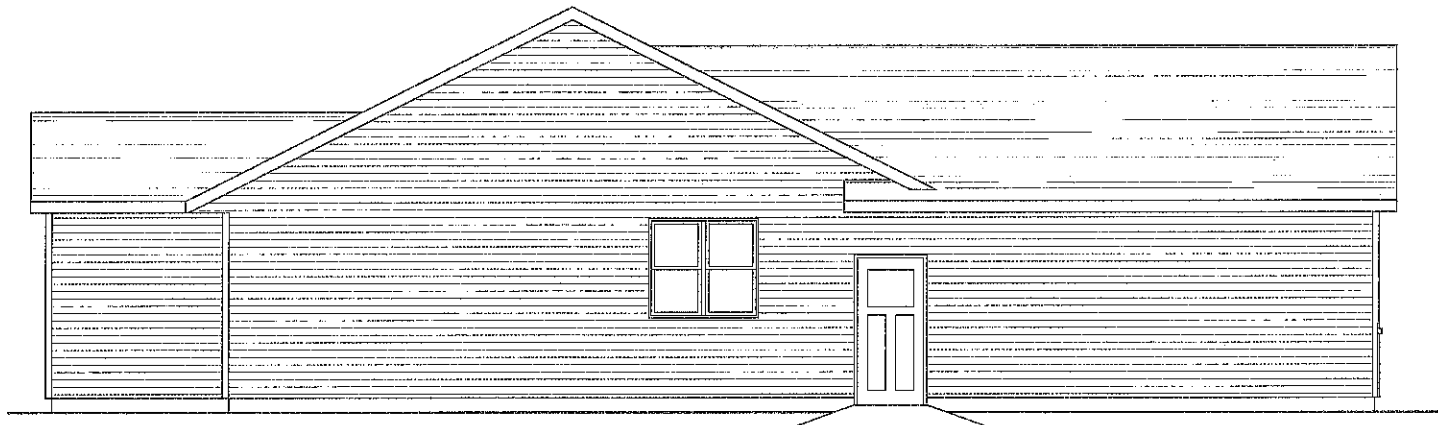
Grading Plan Lot 29  
1710 Fairlawn Avenue

CONTRACTOR: CUTTER HOMES

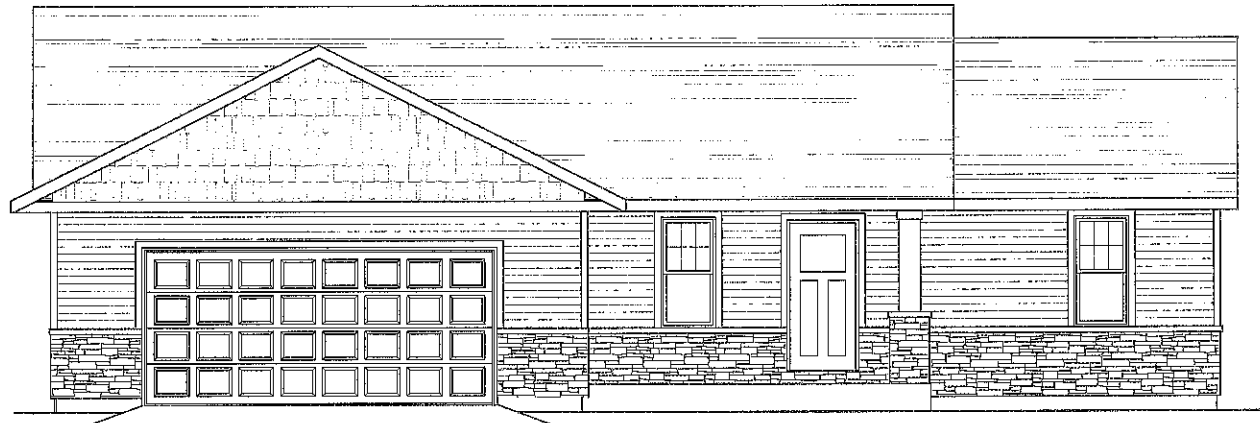
FIELD WORK: 08-13-2024 DRAWN BY: EF

DRAWN DATE: 08-21-2024 REVISION DATE:

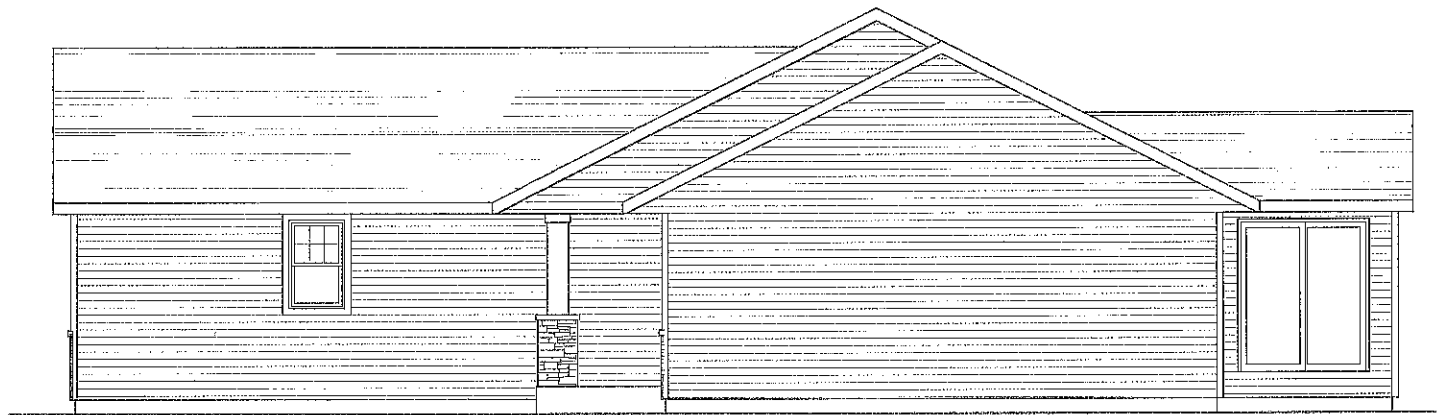
JOB NO: FILE: 2024-0116-lot29wwbba



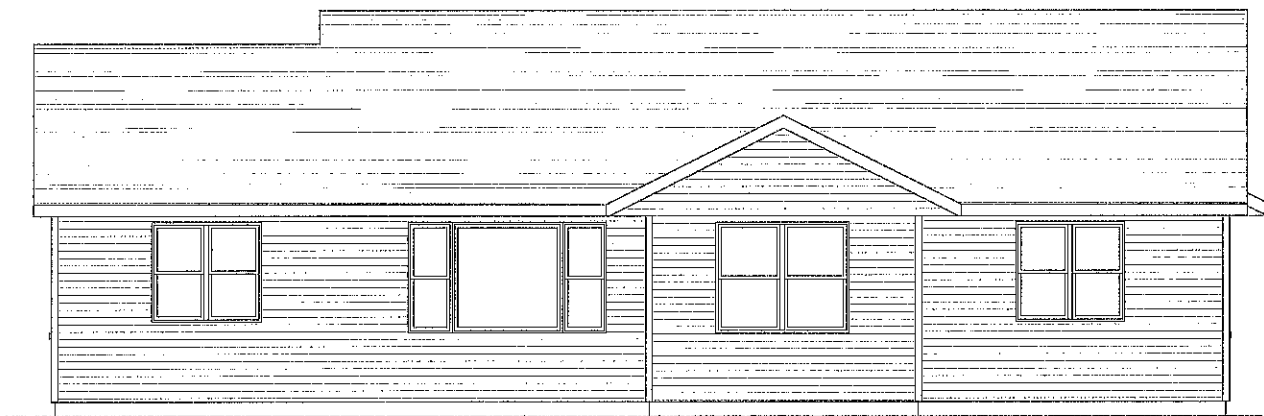
**LEFT ELEVATION**  
1/4" = 1'-0"



**FRONT ELEVATION**  
1/4" = 1'-0"



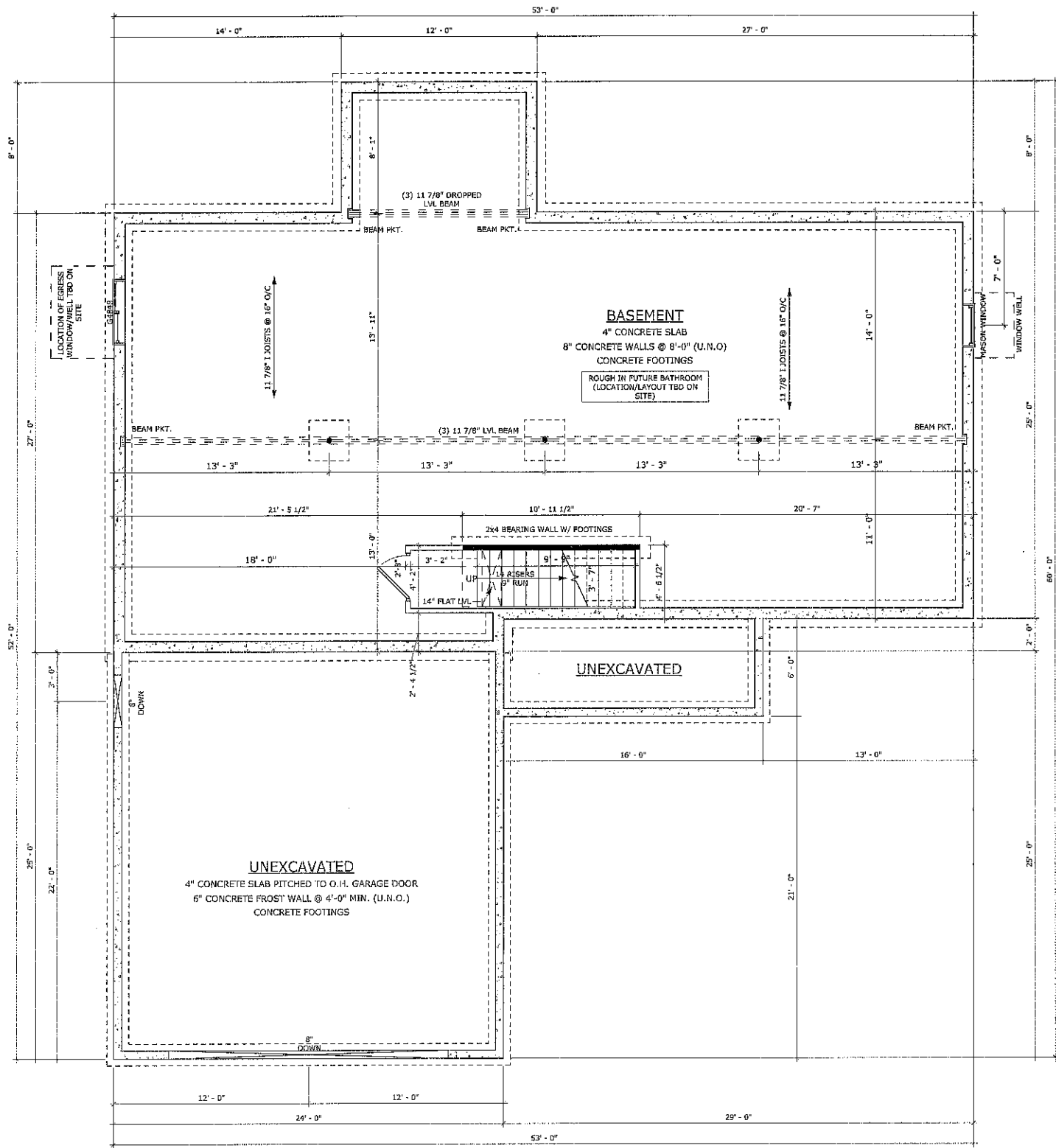
**RIGHT ELEVATION**  
1/4" = 1'-0"



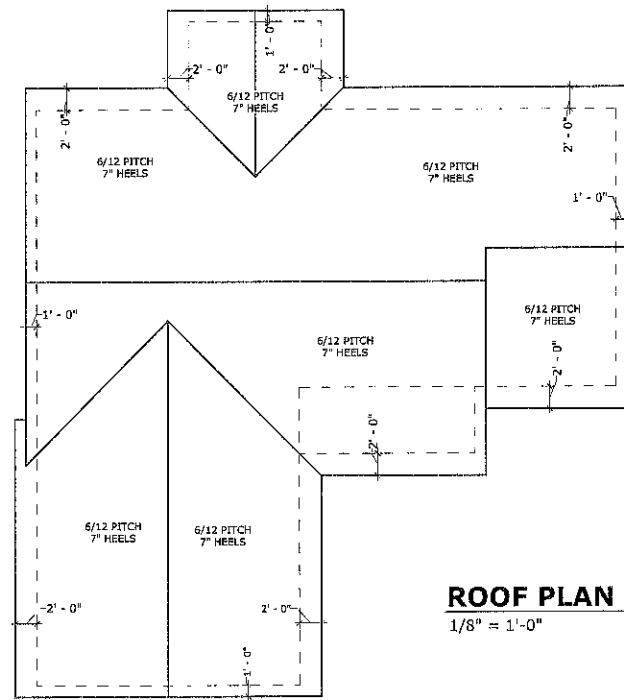
**REAR ELEVATION**  
1/4" = 1'-0"

**FINAL PLAN**

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                     |              |                       |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|--------------|-----------------------|
| DESIGNER: KSOBK                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | SCALE: 1/4" = 1'-0" | SHEET NO: A1 | PROJECT NO: R24-350-C |
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| 1710 FAIRLAWN AVE.<br>DREXEL - BELLEVUE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                     | CUTTER HOMES | LOT 28                |
| <br>DrexelTeam.com                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                     |              |                       |

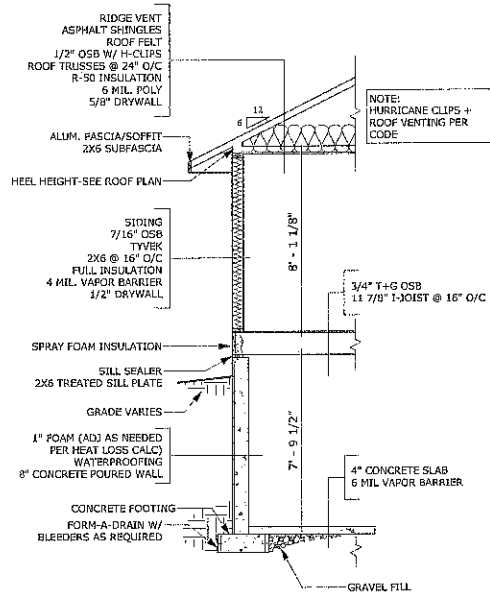


**FOUNDATION PLAN**  
1/4" = 1'-0"



- NEW HOME PLAN SPECIFICATIONS**
- FOUNDATION INFORMATION**
- HOUSE FOUNDATION: 8" x 8'-0" POURED CONCRETE WALL
  - GARAGE FOUNDATION: 6" x 4'-0" POURED CONCRETE WALL
  - PORCH/PATIO FOUNDATION (UNEXCAVATED): 6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
  - WALL THICKNESS FOR REPRESENTATION ONLY - MASON/CONTRACTOR TO VERIFY
  - FINAL WALL/POST FOOTING SIZE AND DEPTH DETERMINED BY CONTRACTOR
  - MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS
  - WINDOWS/DOORS TO BE SET IN CONCRETE WALL - MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
  - BEARING WALLS TO SIT ON MIN. 16" x 8" CONCRETE FOOTINGS, STUDS @ 16" O.C.
- WALL INFORMATION**
- HOUSE EXTERIOR: FIRST FLOOR WALL HEIGHT: 2 x 6 x 8' ± 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
  - HOUSE INTERIOR: FIRST FLOOR WALL HEIGHT: 2 x 4 x 8' ± 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
  - GARAGE: WALL HEIGHT: 2 x 6 x 9'-3" ± 1/4" (UNLESS NOTED/SHOWN OTHERWISE)
  - STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
- FLOOR SYSTEMS**
- BASEMENT: 4" CONCRETE SLAB
  - FIRST FLOOR: 11-7/8" I-JOIST @ 16" O.C.
  - STANDARD LOADING (PER SQ. FT.): 40' LL, 15' DL
  - ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE): 10' DL FOR TILE FLOOR, 13' DL FOR GYPSUM (1.5" THICK), 20' DL FOR FIREPLACE FACE/HEARTH, 25' DL FOR GRANITE/QUARTZ
  - DEFLECTION: LL=1/400, TL=1/180
  - DURATION OF LOAD: 1.00%
- ROOF SYSTEMS**
- ENGINEERED WOOD TRUSSES @ 24" O.C. DESIGNED FOR ZONE 2
  - STD. LOADING (PER SQ. FT.): 30# TCLL, 10# TCBL, 10# BCBL
  - DEFLECTION: LL=1/240, TL=1/180
  - DURATION OF LOAD: 1.15%
- HEADERS**
- STANDARD HEADER: ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10 HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
  - TOP OF WINDOW R.O.S.
  - FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
  - MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER
- GENERAL INFORMATION**
- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
  - 2X6 WALLS=5 1/4", 2X4 WALLS=3 1/2"
  - ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
  - GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE): FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PUMP, PUMP, FURNACE, GAS/LP LINE, BASEMENT, WINDOWS, ETC.
  - ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
  - DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE W1 UNIFORM DWELLING
  - ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS
  - ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE

**TYP. WALL SECTION**  
1/4" = 1'-0"



FIRST FLOOR AREA = 1469 SQ FT  
TOTAL FLOOR AREA = 1469 SQ FT  
GARAGE FLOOR AREA = 624 SQ FT

**FINAL PLAN**

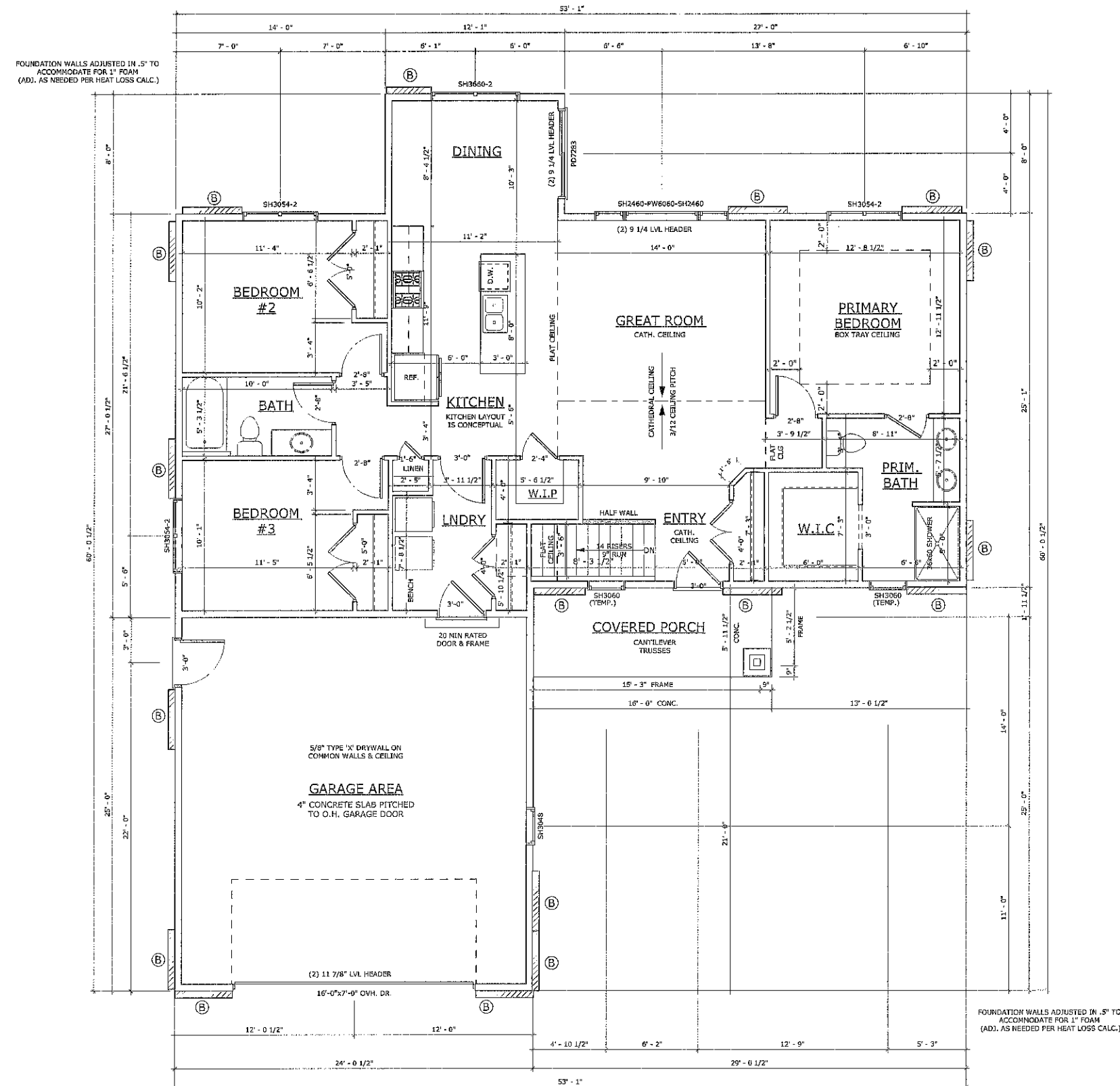
1710 FAIRLAWN AVE.  
DREXEL - BELLEVUE

CUTTER HOMES

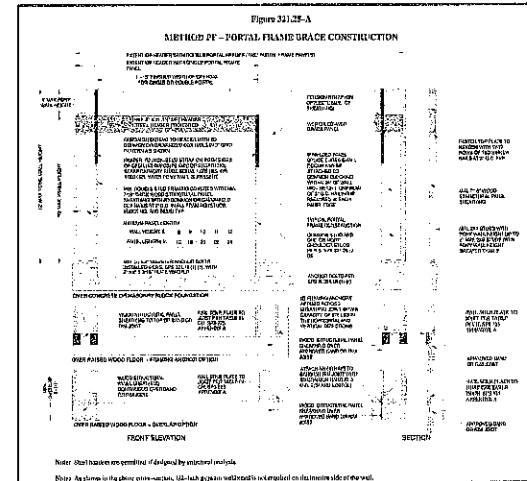
LOT 25

**Drexel**  
drexelteam.com

DESIGNER: KSOVK  
SCALE: As indicated  
SHEET NO: A3  
PROJECT NO: R24-350-C



### FIRST FLOOR PLAN



**WALL BRACING**

The diagram illustrates three methods of wall bracing for formwork:

- INTERMITTENT BRACING (A):** Shows a wall section with vertical bracing members spaced apart, indicated by a dimension line labeled 'A'.
- CONTINUOUS SHEATHING (B):** Shows a wall section with diagonal hatching, indicating continuous sheathing. A dimension line labeled 'B' indicates the height of the sheathing.
- GYPSUM BRACING (C):** Shows a wall section with vertical bracing members. To the right, a vertical list of materials is shown: Gypsum, Plywood, Formboard, and Sheathing. A dimension line labeled 'C' indicates the height of the bracing.

**CONTINUOUS SHEATHING & EXTENDED HEADERS**

The diagram shows a wall section with diagonal hatching, indicating continuous sheathing. A dimension line labeled 'D' indicates the height of the sheathing.

## NEW HOME PLAN SPECIFICATIONS

## FOUNDATION INFORMATION

- **HOUSE FOUNDATION**  
8" x 8'-0" POURED CONCRETE WALL
- **GARAGE FOUNDATION**  
6" x 4'-0" POURED CONCRETE WALL
- **PORCH/PATIO FOUNDATION (UNEXCAVATED)**  
6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
- **WALL THICKNESS FOR REPRESENTATION ONLY-**  
MASON/CONTRACTOR TO VERIFY
- **FINAL WALL/POST FOOTING SIZE AND DEPTH**  
DETERMINED BY CONTRACTOR
- **MASON TO LOCATE PLASTER AND SIZE FOOTINGS PER**  
**CODE AND SOIL CONDITIONS**
- **WINDOWS/DOORS TO BE SET IN CONCRETE WALL - MAKE**  
**R.O. 4" DEEPER IN WIDTH AND HEIGHT**
- **BEARING WALLS TO SIT ON MAX. 16" x 8" C&W.**  
**CONCRETE FOOTINGS, STUDS @ 16" O.C.**

**WALL INFORMATION**

- **HOUSE EXTERIOR**  
FIRST FLOOR WALL HEIGHT: 2 x 6 x 8' 1 1/8"  
(UNLESS NOTED/SHOWN OTHERWISE)
- **HOUSE INTERIOR**  
FIRST FLOOR WALL HEIGHT: 2 x 4 x 8' 1 1/8"  
(UNLESS NOTED/SHOWN OTHERWISE)
- **GARAGE**  
WALL HEIGHT: 2 x 6 x 9'-3 1/4"  
(UNLESS NOTED/SHOWN OTHERWISE)
- **STAIRS, BAL. & C.** (UNLESS NOTED/SHOWN OTHERWISE)

**FLOOR SYSTEMS**

- BASEMENT
- 4" CONCRETE SLAB
- FIRST FLOOR
- 11-7/8" I-JOIST 16' O.C.
- STANDARD LOADING (PER SQ. FT.)
- 40<sup>LB</sup> 1L 15<sup>LB</sup> DL
- ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
- 10<sup>LB</sup> DL FOR TILE FLOOR
- 13<sup>LB</sup> DL FOR GYPSCRETE (1.5" THICK)
- 20<sup>LB</sup> DL FOR FINGER-ACE FACES/HEARTH
- 25<sup>LB</sup> DL FOR GRANITE/QUARTZ
- DEFLECTION: LL=1/480, TL=1/360
- DURATION OF LOAD: 1.00%

## ROOF SYSTEMS

- ENGINEERED WOOD TRUSSES @24" O.C.
- DESIGNED FOR: ZONE 2
- STD. LOADING (PER SQ. FT.)
- 30# TCLL, 10# TCCL, 10# BCDL
- DEFLECTION: LL=L/240, TL=L/180
- DURATION OF LOAD: 1.15%

## HEADERS

- STANDARD HEADER  
ALL HEADERS NOT LABELED AS LVL TO BE MIN.  
(2) 2X10 HEADER FOR ON-SITE (UNLESS VALUE  
ENGINEERED FOR OFF-SITE CONSTRUCTION)
- TOP OF WINDOW R.O.S.  
FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR  
(UNLESS NOTED/SHOWN OTHERWISE)
- MINIMUM OF (2) SHOULDER STUDS AT EACH END  
FOR ALL OPENINGS 6'-0" AND LARGER

## GENERAL INFORMATION

- \* ALL DIMENSIONS ARE TO THE INSIDE SURF (UNLESS NOTED OTHERWISE)
- \* 2X6 WALLS = 5 1/2", 2X4 WALLS = 3 1/2"
- \* ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION
- \* WATER/ROCK LAYER
- \* GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN FOUNDATION (WHEN APPLICABLE)
  - SUMP, DRAIN, BATH, SINK, TOILET, HEATER, SUMP PIT + PUMP, FURNACE, GAS/FLUE LINE, BASEMENT WINDOWS, ETC.
- \* ACT TO LOCATE IN FOUNDATION WALLS AND LOCATION OF WINDOW WALLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
- \* ORDER SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE W1 UNIT DWELLING
- \* ORDER SPECIFICATION ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS
- \* ALL HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE

## FINAL PLAN

**1710 FAIRLAWN AVE.  
DREXEL - BELLEVUE**

**CUTTER HOMES**

**Drexel**<sup>TM</sup>  
DrexelTeam.com

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|--------------------------|-----------------|------------------------|---------------------|--------------------------------------------------------------------------------------------------------------------|-----------------------------------------|------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|----------|-----|
| DRAWING NO:<br>R24-350-C | SHEET NO:<br>A2 | SCALE:<br>1/4" = 1'-0" | DESIGNER:<br>K.SOKY | <br>Drexel™<br>DrexelTeam.com | 1710 FAIRLAWN AVE.<br>DREXEL - BELLEVUE | LOT 28<br>CUTTER HOMES | COPYRIGHT © 2024<br>ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DREXEL. | FINAL PLAN | 8/2/2024 | KMS |
|--------------------------|-----------------|------------------------|---------------------|--------------------------------------------------------------------------------------------------------------------|-----------------------------------------|------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|----------|-----|

FIRST FLOOR AREA = 1469 SQ FT

**TOTAL FLOOR AREA = 1469 SQ FT**

GARAGE FLOOR AREA = 624 SQ FT